



Cornwall's nationally protected landscape



Cornwall
Area of Outstanding
Natural Beauty

*Planning &
Development in
Protected
Landscapes*



Planning & Development in Protected Landscapes



St Anthony in Meneage,
looking up river | Jim Wood

The Cornwall Area of Outstanding Natural Beauty comprises varied landscapes whose distinctive characters and natural beauty and unique settlements, and rural, industrial and coastal heritage are so outstanding that it is in the nation's interest to safeguard it.

The statutory purpose of the designation is to conserve and enhance the natural beauty of the area and it enjoys the same levels of protection from development as National Parks within the UK.

Notwithstanding this protection, the landscapes of the AONB are shaped by and inextricably linked to the lives and vitality of the communities within them and development needs to be shaped to reflect this within the confines of the protection afforded to them.

To maintain Cornwall AONB's distinctiveness, development should contribute to the sense of place; it should respond to local historical, cultural and

landscape context and enhance and feel part of the existing settlement and landscape.

The statutory purpose of the AONB and the Development Plan and material considerations dictate that particular control is required within the designated landscape to ensure that whilst providing for the continuing vitality and social inclusion of the local communities of the AONB, particular approaches will be required to deliver development which satisfies these requirements. These approaches include a requirement for informed contextual design, and an acute appreciation of landscape capacity and sensitivity.



Responsibility for Planning Policy and Development Control within the Cornwall AONB lies with Cornwall Council.

The Cornwall AONB Management Plan comprises a material consideration in development management and in development plan making.

Cornwall AONB has a Planning Position Statement, which sets out the understanding of the Cornwall AONB Unit with regard to the roles and responsibilities of Cornwall Council (as the Local Planning Authority) and the Cornwall AONB Unit (as a non-statutory consultee) regarding planning matters affecting the Cornwall AONB.

Statutory Protection

The protection afforded to the Area of Outstanding Natural Beauty, in recognition of the national importance of its natural beauty and therefore landscape character, is clarified within the Countryside and Rights of Way (CROW) Act 2000 as set out previously. Of particular importance are:

- **Section 82** which reaffirms the primary purpose of AONBs: to “conserve and enhance” natural beauty; and
- **Section 85** which places a statutory duty on all ‘relevant authorities’ to ‘have regard to the purpose of conserving and enhancing the natural beauty’ of AONBs when coming to any decisions or carrying out activities relating to or affecting land within these areas. Activities and developments outside the boundaries of AONBs that have an impact within the designated area are also covered by the ‘duty of regard’.

Notwithstanding the statutory duty above, all matters of Development Management (planning decisions) within the AONB must be made in accordance with the Development Plan (Cornwall Local Plan and any made Neighbourhood Development Plans) and in the light of any material considerations as set out in the Planning and Compulsory Purchase Act 2004 38 (6).

National Planning Policy Framework

National planning policy is set out in the National Planning Policy Framework (NPPF) July 2021. This and the accompanying Planning Practice Guidance form important material considerations with regard to development management and confirm that:

- The scale and extent of development in Areas of Outstanding Natural Beauty (AONBs) should be limited.
- The presumption in favour of sustainable development does not automatically apply (where any adverse impacts would significantly and demonstrably outweigh the benefits, when assessed against the Framework taken as a whole) within the Cornwall AONB.
- There is a presumption that planning permission should be refused for major development in AONBs.
- Policies for protecting AONBs may mean that it is not possible to meet objectively assessed needs for housing and other development in full.
- AONBs are unlikely to be suitable areas for accommodating unmet needs arising from adjoining, non-designated, areas.



Specifically, **NPPF paragraph 174** requires that “planning policies and decisions should contribute to and enhance the natural and local environment by:

- Protecting and enhancing valued landscapes, sites of biodiversity or geological value and soils (in a manner commensurate with their statutory status or identified quality in the development plan); and
- Recognising the intrinsic character and beauty of the countryside, and the wider benefits from natural capital and ecosystem services

Likewise, **NPPF paragraph 176** requires that:

“Great weight should be given to conserving and enhancing landscape and scenic beauty in National Parks, the Broads and Areas of Outstanding Natural Beauty, which have the highest status of protection in relation to these issues. The conservation and enhancement of wildlife and cultural heritage are also important considerations in these areas and should be given great weight in National Parks and the Broads. The scale and extent of development within these designated areas should be limited, while development within their setting should be sensitively located and designed to avoid or minimise adverse impacts on the designated areas.”



Sennen
Jim Wood

Cultural heritage is an integral component of the AONB and **Chapter 16 of NPPF** provides further detail on this: “**Heritage assets range from sites and buildings of local historic value to those of the highest significance, such as World Heritage Sites which are internationally recognised to be of Outstanding Universal Value. These assets are an irreplaceable resource, and should be conserved in a manner appropriate to their significance, so that they can be enjoyed for their contribution to the quality of life of existing and future generations**”.



Cadgwith boats | Sue Rowlands

NPPF paragraph 177 clarifies that permission should “be refused for major development other than in exceptional circumstances, and where it can be demonstrated that the development is in the public interest. Consideration of such applications should include an assessment of:

- The need for the development, including in terms of any national considerations, and the impact of permitting it, or refusing it, upon the local economy.
- The cost of, and scope for, developing outside the designated area, or meeting the need for it in some other way; and
- Any detrimental effect on the environment, the landscape and recreational opportunities, and the extent to which that could be moderated.”

Whilst the determination of what constitutes “major” development in the context of the AONB is a matter for the decision maker. Appendix ii of this plan sets out the views of the Cornwall AONB Partnership in this regard.

The Cornwall Local Plan

The Development Plan, which covers the 12 areas of the Cornwall AONB, includes the Cornwall Local Plan Strategic Policies 2010-2030 (adopted November 2016) and Made Neighbourhood Development Plans. The Cornwall Local Plan contains policies both specific to the designated landscape and also wider policies which would apply equally within the AONB.

Policy 2 - Spatial Strategy requires that development should meet the objective of the “Plan for Cornwall” in respecting and enhancing the quality of place by:

- Understanding the cultural, physical and aesthetic attributes of its location.
- Considering the impact of development on the beauty and diversity of landscape, seascape and character and setting of settlements.
- Identifying the value and sensitivity of the character and importance of landscapes; and
- Protecting, conserving and enhancing the natural and historic landscape, heritage, cultural, biodiversity and geodiversity assets of Cornwall in recognition of their international, national and local status and in accordance with national legislation and policy.

Policy 3 - Role and function of places

requires that within the AONB or its setting, development will be supported where it is in accordance with the other policies of this plan and can demonstrate that it conserves and enhances the landscape character and natural beauty of the AONB.



Crackington
Haven | Jim Wood

Policy 7 - Housing in the countryside sets out a range of requirements with regard to the development of new homes in the countryside which includes the requirement:

- that replacement dwellings are broadly comparable to the size, scale and bulk of the dwelling being replaced and of an appropriate scale and character to their location; and
- that for the reuse of suitably constructed redundant, disused or historic buildings that are considered appropriate to retain they would lead to an enhancement to the immediate setting.

Policy 12 - Design requires that development should consider the existing context and create places with their own identity and promote local distinctiveness, being of a scale, density, layout, height and mass with a clear understanding and response to its landscape, seascape and townscape setting.

This approach is further explored and articulated in the Cornwall Design Guide which recognises the “exceptional landscape and unique industrial, rural and coastal

heritage and natural environment” reflected in the Cornwall AONB designation. It further recognises that

“Much has been lost or disturbed through inappropriate or insensitive development that has either disregarded or been oblivious to the qualities that make Cornwall an especially distinctive home. To maintain Cornwall’s distinctiveness, development should contribute to the sense of place; it should respond to local historical, cultural and landscape context and enhance and feel part of the existing settlement and landscape. This can include responding to both built and natural attributes, for instance reflecting construction methods, built forms, field patterns and landscapes. It may also include retaining or enhancing key views, landscapes and buildings that provide a tangible link to Cornish culture”.

Policy 23 - Natural Environment requires that:

1. “Development proposals will need to sustain local distinctiveness and character and protect and where possible enhance Cornwall’s’ natural environment and assets according to their international, national and local significance”.

Likewise, at 2(a) it amplifies and expands on paragraph 176 of the NPPF and requires that “Great weight will be given to conserving the landscape and scenic beauty within or affecting the AONB. Proposals must conserve and enhance the landscape character and natural beauty of the AONB and provide only for an identified local need and be appropriately located to address the AONB’s sensitivity and capacity. Proposals should be informed by and assist the delivery of the objectives of the Cornwall and Tamar Valley AONB Management Plans including the interests of those who live and/or work in them. Major development in the AONB will be refused subject to the tests of exceptional circumstances and where it can be demonstrated that the development is in the public interest as set out in national policy”.

Paragraph 2.147 of the Cornwall Local Plan, which is the supporting text to policy 23, explains that “**considerable guidance and evidence is available such as in particular the: Landscape Character Assessment, Area of Outstanding Natural Beauty Management Plan; World Heritage Site Management Plan; Conservation Area Appraisals; Cornwall and Isles of Scilly Urban Survey and the Historic**

Environment Record. All of these provide important information and should be used alongside this document in making planning decisions.”

Paragraph 2.149 outlines that “Proposals for development should be informed by and respond to the natural environment in line with their status:

Areas of Outstanding Natural Beauty (AONB): When considering proposals for development within the AONB, the Council will ensure that development is in accordance with the great weight afforded to their landscape and scenic beauty in national policy and the aims and objectives of the Cornwall and Tamar AONB Management Plans and their associated supplementary planning guidance on sensitivity and capacity for housing development in the AONB. These in particular, provide guidance on what constitutes ‘major’ development within an AONB stating that this will depend on the local context, the scale, location and type of development proposed.

Proposals within the AONB, or those that would affect its setting will be supported where they are small scale and meet an identified local need, where landscape capacity can be demonstrated and the natural beauty of the AONB can be conserved and enhanced in accordance with Policy 23. Proposals for major development in the AONB will be refused subject to the tests of exceptional circumstances and demonstrating the development is in the public interest as set out in national policy.”

Much of the planning policy within this Management Plan provides detailed interpretation and clarification of **Cornwall Local Plan Policy 23.**



There are other policies within the **Cornwall Local Plan** which consider the Cornwall AONB and are related, in particular, to renewable energy developments and minerals, these being **Cornwall Local Plan Policies 15 and 18**. Due to their very specific intent and scope these are referred to specifically in the different Policy sections of this Management Plan.

In addition to the Cornwall Local Plan, some of the made Neighbourhood Development Plans cover the areas of the AONB. They form part of the Development Plan for the purposes of Development Management decisions.

The Cornwall Council Climate Emergency Development Plan Document (DPD) will comprise part of the Development Plan once adopted.

The Cornwall AONB Management Plan is a material planning consideration for planning purposes and, as such, should be taken into account in development management decisions and the preparation, of any Neighbourhood Plans affecting the AONB.

The AONB Management Plan highlights the value and special qualities of the Cornwall AONB and sets the context for development within or affecting the AONB and/or its setting.

The Statutory Duty under the CROW Act, national planning policy and guidance, the development plan and relevant material considerations make it clear that development in the designated landscape is subject to very particular policy constraint in order to deliver the statutory purpose. They also indicate the need to take account of the designation and the reasons for it.



Pendeen | Jim Wood

They provide the statutory purpose for the designation to conserve and enhance natural beauty whilst also facilitating a dynamic and functional landscape which provides both homes and work for residents and provides for social cohesion and vitality.

However, even with these policies and guidance in place, the natural beauty which led to AONBs being designated in the first place is still being undermined and lost, not least through the cumulative effect of individual developments. In order to address the issues and policy context outlined above, this Management Plan advocates an over-arching principle for development within the Cornwall AONB and its setting.



Landscape-led development

Development within and affecting the Cornwall AONB, should be 'landscape-led'.

A 'landscape-led' approach to development, in the context of landscapes of the Cornwall AONB, is one in which development is conceived, designed, budgeted, assessed and implemented in such a way that:

- It demonstrably delivers all of the development plan policy and material consideration requirements set out previously.
- It demonstrably provides a contextual response to its specific setting within the AONB, clearly addressing locally characteristic forms of development in terms of scale, massing, form, architectural treatments, distinctiveness, respect to local heritage, biodiversity and other key attributes of the local landscape.
- It identifies and responds to the particular landscape sensitivity of the site and its setting and does not exceed the capacity of the landscape to accommodate it without adverse effects on the designated landscape.
- It does not give rise to a continuation of the cumulative erosion of landscape character which continues to blight some parts of the designated landscape
- It is consistent with, demonstrably contributes to and delivers net-benefits for the statutory purpose of AONB designation (i.e. conserving and enhancing the natural beauty of the AONB) whilst also providing for the other environmental agendas which support the statutory purpose.

In line with current best practice and policy requirements, we consider that this approach should underpin all development in the Cornwall AONB (and, where relevant, in its setting).

'Landscape-led' is not the same thing as 'landscape-considered'. In a landscape-considered scenario, landscape issues (including the purpose of designation) are just one of many competing considerations. In a landscape-led scenario, on the other hand, the objective of conserving and enhancing natural beauty underpins all stages of the development process from initial thinking through to implementation. In adopting this approach, the outcome should be an enhancement of – or 'net-gain' for - the natural beauty of the Cornwall AONB and one which supports both the statutory purpose of the designation, and the statutory duty imposed by S85 of the CROW Act.

In applying a “landscape-led” approach to development within the Cornwall AONB it is necessary to consider the factors that contribute to natural beauty (following those recognised by Natural England). These include:

- Landscape character
- Landscape quality / beauty
- Scenic quality / beauty
- Tranquillity (including ‘dark skies’)
- Relative wildness
- Natural heritage (including ‘biodiversity’)
- Cultural heritage (including ‘historic environment’)
- Biodiversity
- Built form
- The special qualities of the Cornwall AONB Landscape

It is the unique and irreplaceable combination of many of these attributes which make the landscapes of the Cornwall AONB so special and worthy of the very highest level of protection conferred by both the Development Plan and material considerations.

This principle of “Landscape-Led” development reflects the aims and objectives of the Cornwall Design Guide which espouses “development that relates to, respects and sits well in its local context”. This principle is further reinforced in the Cornwall Design Guide which states that “To maintain Cornwall’s distinctiveness, development should contribute the sense of place; it should respond to the local historical, cultural and landscape context and enhance and feel part of the existing settlement and landscape”. Likewise it


identifies that “Good buildings and spaces that resonate with place and setting tend to feel responsive, sensitive and relevant”.

In simple terms, development which

provides a contextual response to and reflects the characteristics and essence of the designated landscape is likely to be supported by the policy outlined above. Whereas, that which brings alien elements, or simply takes advantage of its location within the designated landscape, is likely to be in conflict with policy constraints, at all levels.

The aims, policies and objectives of this Management Plan contain planning and development policies which are relevant to all sections of the designated landscape and these should be considered relevant to all development proposals. There are also planning policies which are specific to the different sections of the AONB and these should be consulted in regard to any development proposals within that section.

Technical Appendix i provides policy with regard to the construction of agricultural buildings and Technical Appendix ii sets out the AONB team’s view of the considerations for identifying “major” development in the designated landscape. These appendices should be consulted with regard to such development proposals within the designated landscape.

Title	Planning & Development
Intro	<p>The Cornwall AONB is protected by statutory requirement, planning policy and material considerations which require the conservation and enhancement of the natural beauty of the AONB landscapes. Great weight should be given to conserving the landscape and scenic beauty of the designated landscape which enjoys the same level of protection as a National Park.</p> <p>These policy measures apply to ensure that the characteristics that make the AONB unique and irreplaceable are maintained for future generations. Cornwall Council as the Local Planning Authority has the key role in the long-term care of the AONB landscape through the implementation of these development plan policies and particularly the Cornwall Local Plan and Climate Emergency Development Plan Document.</p>
Priority	People, Place, Nature and Climate 
Aim	<p>To ensure development conserves and enhances the local distinctiveness and natural beauty of the AONB landscapes and their settings while meeting the needs of local communities.</p> <p>Development within the designated landscape should be demonstrably “landscape-led” to allow it to provide a contextual response to its specific setting within the AONB, clearly addressing locally characteristic forms of development in terms of scale, massing, form, architectural treatments, distinctiveness, respect to local heritage, biodiversity and other key attributes of the local landscapes.</p> <p>Development should conserve and enhance and feel part of the existing landscape and settlement pattern and form. This can include responding to both built and natural attributes, for instance reflecting vernacular construction methods, built forms, field patterns and landscapes. It may also include retaining or enhancing key views, landscapes and buildings that provide a tangible link to Cornish culture as well as ensuring that local place names and character are understood and form part of the development proposals.</p>

Title	Planning & Development
Policy PD-P1	<p>All development within the AONB will be required to adopt a “landscape-led” approach as set out within this document in order to conserve and enhance the natural beauty of the AONB. This approach will provide for the statutory protection of the AONB landscapes and will deliver the policy requirements that stem from this. Development proposals within the AONB landscape will be required to demonstrate a contextual understanding and response to the unique and characteristic attributes of the site and its setting and to demonstrate how the proposed development positively responds to these in conserving and enhancing the designated landscape.</p> <p><i>Provided that this does not impact upon the qualifying features of the SAC or SPA from land take or changing land use.</i></p>
Policy PD-P2	<p>Development management decisions should specifically consider the cumulative effects of individual developments on the designated landscape. The addition of further individual developments and particularly replacement and redevelopment of existing dwellings and buildings and the extension of settlements will be supported where these are landscape led and do not exceed the sensitivity and capacity of their designated landscape setting and where they do not give rise to cumulative effects particularly through the inclusion of uncharacteristic contemporary elements, domestic paraphernalia and light spill. The unique historic character of many of the settlements and clusters of dwellings in the designated landscape reflect both their vernacular form and buildings and also their relationship to their landscape setting. The loss of either characteristic will be disproportionately harmful.</p>
Policy PD-P3	<p>The replacement and redevelopment of existing dwellings will be supported where the overall scale, density, massing, height, layout, materials and landscaping of the development appropriately responds to local character and natural beauty of the surrounding AONB landscape. Such development should be broadly comparable to the size, scale and bulk of the dwelling being replaced, and not adversely affect the character of the surrounding area.</p>
Policy PD-P4	<p>“Major development” should be refused in the Cornwall AONB subject to the tests set out in NPPF para 177. This Management Plan, at Appendix ii, sets out the views of the AONB Partnership as to what should be considered to constitute “major development” in the AONB.</p>



Title	Planning & Development
Policy PD-P5	Seek to embed the statutory purposes of the AONB designation and AONB Management Plan policies, and requirement for a landscape-led approach in the all relevant Cornwall Council and other stakeholder plans, policies, strategies and programmes.
Policy PD-P6	Support appropriate characteristic green infrastructure within built development and the wider landscape, where this would follow the required landscape-led approach required for the AONB.
Policy PD-P7	<p>Support small scale developments that enable the identified needs of local people to be met in terms of provision of affordable housing, maintaining and enhancing local community amenities and services. Housing need and affordable housing need within the AONB should be based on robust evidence of local need arising from within the AONB. The extent to which the AONB is required to accommodate objectively assessed needs arising from outside the AONB should be limited. Any such development should be in sustainable locations with good access to services where landscape capacity and opportunity to conserve and enhance the protected landscape can be demonstrated. Exception sites for affordable housing related to any settlement within the AONB should be identified in the light of a “landscape-led” comparative analysis of alternative sites to ensure that only the most appropriate sites are brought forward.</p> <p><i>Provided that this does not impact upon the qualifying features of the SAC or SPA from land take or changing land use.</i></p>
Policy PD-P8	<p>Support new tourism, leisure and recreation development that conserves and enhances the diverse local landscape characteristics of the various sections of the Cornwall AONB. Development of such facilities should respond to the character, sensitivity and capacity of the designated landscape and not comprise a conspicuous uncharacteristic element harming the character, tranquillity and biodiversity of the landscape, ensuring that the scale, design, colour, and use of materials have appropriate regard to the protected landscape. Seek better integration of existing holiday sites, visitor infrastructure, and car parks in order to reduce landscape and visual impact.</p> <p><i>Provided that this does not impact upon the qualifying features of the SAC or SPA from recreational disturbance.</i></p>



Title	Planning & Development
Policy PD-P9	<p>Support the sustainable management of recreational water sports, and commercial and operational maritime activities including shell fisheries and dredging in AONB estuaries and at the coast.</p> <p>Recognise the potential harm to tranquillity and biodiversity from both recreational and commercial and operational maritime activity both within the enclosed waters of the designated landscape and also the marine areas which form their setting.</p> <p>Support measures to conserve and enhance the AONB coast, including safeguarding currently undeveloped coastal stretches.</p> <p><i>Provided that this does not impact upon the qualifying features of the SAC or SPA from recreational disturbance.</i></p>
Policy PD-P10	<p>Support appropriate landscape-led site selection and design of new telecommunication and power infrastructure. Require such development to comply with the Code of Best Practice on Mobile Network Development in England (or any successor document).</p>
Policy PD-P11	<p>Any development in, or within the setting of, the AONB must be sustainable development that:</p> <ul style="list-style-type: none"> • maintains local distinctiveness and contributes to the sense of place; it should respond to local historical, cultural and landscape context and enhance and feel part of the existing landscape. This can include responding to both built and natural attributes, for instance using characteristic local construction methods, built forms, field patterns and landscapes. It may also include retaining or enhancing key views, landscapes and buildings that provide a tangible link to Cornish culture; • is appropriately located, and addresses landscape sensitivity and capacity being of a scale, density, layout, height and mass with a clear understanding and response to its landscape, seascape and townscape setting; • reflects vernacular scale and detailing avoiding the uncharacteristic introduction of large scale dwellings with very extensive glazed elevations and imposing presence; Innovation in building design within the AONB should be landscape-led providing contextually responsive in the terms set out above, provide contemporary development that is well integrated into its setting and the AONB landscape. • is compatible with the distinctive character of the location described by the Landscape Character Assessment, with particular regard to the setting of settlements and the rural landscape;



Title	Planning & Development
Policy PD-P11 (continued)	<ul style="list-style-type: none"> • does not compromise the special qualities and characteristics of the AONB designation as outlined for each local section and in relevant landscape character assessments; • maintains ecological continuity/ semi-natural corridors and gives rise to biodiversity net gain; • supports the conservation of the historic environment as a whole, and in particular those designated heritage assets and their setting; including Conservation Areas and World Heritage Sites; • respects and does not diminish dark skies, designated or otherwise, and maintains tranquillity. Any development that leads to increase light spill will not be supported • protects ancient woodland, trees and notable trees, other important features and semi natural habitats in order that they can contribute to the conservation and enhancement of the natural beauty of the protected landscape. <p>Particular care should be taken to ensure that development outside the AONB does not harm the natural beauty, character and special qualities of the AONB and/ or its setting or otherwise prejudice the achievement of the AONB purposes. The AONB enjoys equal protection from effects whether they result from development within or outside the designated area.</p> <p><i>Provided that this does not impact upon the qualifying features of the SAC or SPA from land take or changing land use.</i></p>
Policy PD-P12	<p>Quarrying and mineral extraction within the AONB or within its setting should conserve and enhance the landscape character and natural beauty of the area. Support the landscape restoration of existing mines and quarries, to enhance landscape character and natural beauty by seeking appropriate new planning conditions through the Review of Mineral Planning Permissions. Support existing small-scale quarries within the different sections of the CAONB, in order to allow controlled production of characteristic stone for use locally to facilitate contextually responsive development. These quarries will be required to respect landscape character, topography and vegetation in their operation and restoration and minimise short- and long-term landscape and visual impacts. Support further measures to protect and enhance environmental and landscape quality when existing quarrying permissions are reviewed.</p> <p><i>Provided that this does not impact upon the qualifying features of the SAC or SPA from land take or changing land use.</i></p>



Title	Planning & Development
Policy PD-P13	Support the use of local vernacular stone and other building materials used in vernacular ways within built development and infrastructure. If necessary, by the small-scale and sensitive reworking of local quarries.
Policy PD-P14	Renewable energy technologies and associated infrastructure, both onshore and offshore, should be of a scale and design able to be accommodated within the AONB and its setting. Any such development should adopt landscape led principles to guard against landscape, visual and cumulative impacts, in accordance with the evidence base contained within the local relevant renewable policies. <i>Provided that this does not impact upon the qualifying features of the SAC or SPA from land take or changing land use.</i>
Policy PD-P15	Built development should provide gains for biodiversity; promoting habitat retention, creation, enhancement and species protection aligned with other relevant policies. <i>Provided that this does not impact upon the qualifying features of the SAC or SPA from land take or changing land use.</i>
Policy PD-P16	Any development within the marine, coastal and estuarine environment must take account of terrestrial and marine based planning policies and processes. <i>Provided that this does not impact upon the qualifying features of the SAC or SPA from land take or changing land use.</i>
Policy PD-P17	Farm diversification and infrastructure will generally be supported where they provide sustainable rural businesses, enhance local distinctiveness and cultural heritage and where the development is of a scale, design and location that can be accommodated within the sensitive landscapes of the AONB. See Appendix i.

Title	Planning & Development
Policy PD-P18	<p>The conversion of existing redundant agricultural (and other similar) buildings to form dwellings will only be supported where:</p> <ul style="list-style-type: none"> • The existing buildings are characteristic, historic, vernacular buildings which are recognisably an important part of the local built and landscape context; and • The existing buildings are worthy of retention in their own right; and • The conversion very substantially retains the scale, character and appearance of the original building with repair generally preferred to renovation; and • The conversion does not give rise to the introduction of uncharacteristic fenestration or domestication of the setting or the introduction of conspicuous domestic paraphernalia into the setting of the building. <p>The conversion of redundant existing agricultural (and other) buildings such as pole barns, simple concrete block barns or portal frame buildings which in the absence of an agricultural use would form alien elements in the landscape will not generally be supported.</p> <p><i>Avoids impacts upon the qualifying feature of the SAC and SPA from land take or changing land use</i></p>
Policy PD-P19	<p>Require the conservation and enhancement of the existing character of the local road network and particularly the minor lanes within the designated landscape. The pattern and character of the roads of much of the designated landscape contributes appreciably to the character of the area, from sunken and enclosed lanes in wooded valleys to open unenclosed moorland roads. Changes to the roads and lanes in the designated landscape require particular design to ensure that their characteristic form is not lost or compromised. Widening, straightening, re-routing, kerbing and enclosure of currently unenclosed sections or the inclusion of uncharacteristic standard suburban details and particularly the proliferation of signage should be avoided. New openings to lanes through existing hedge banks or vegetation which require uncharacteristic contemporary design standards and uncharacteristic visibility splays will not be supported. Where new highway works are required these should adopt traditional approaches including locally appropriate Cornish hedge banks and where appropriate characteristic soft passing places and should reflect characteristic local landscape patterns and boundaries. The management of verges should provide opportunity for biodiversity net gain.</p>



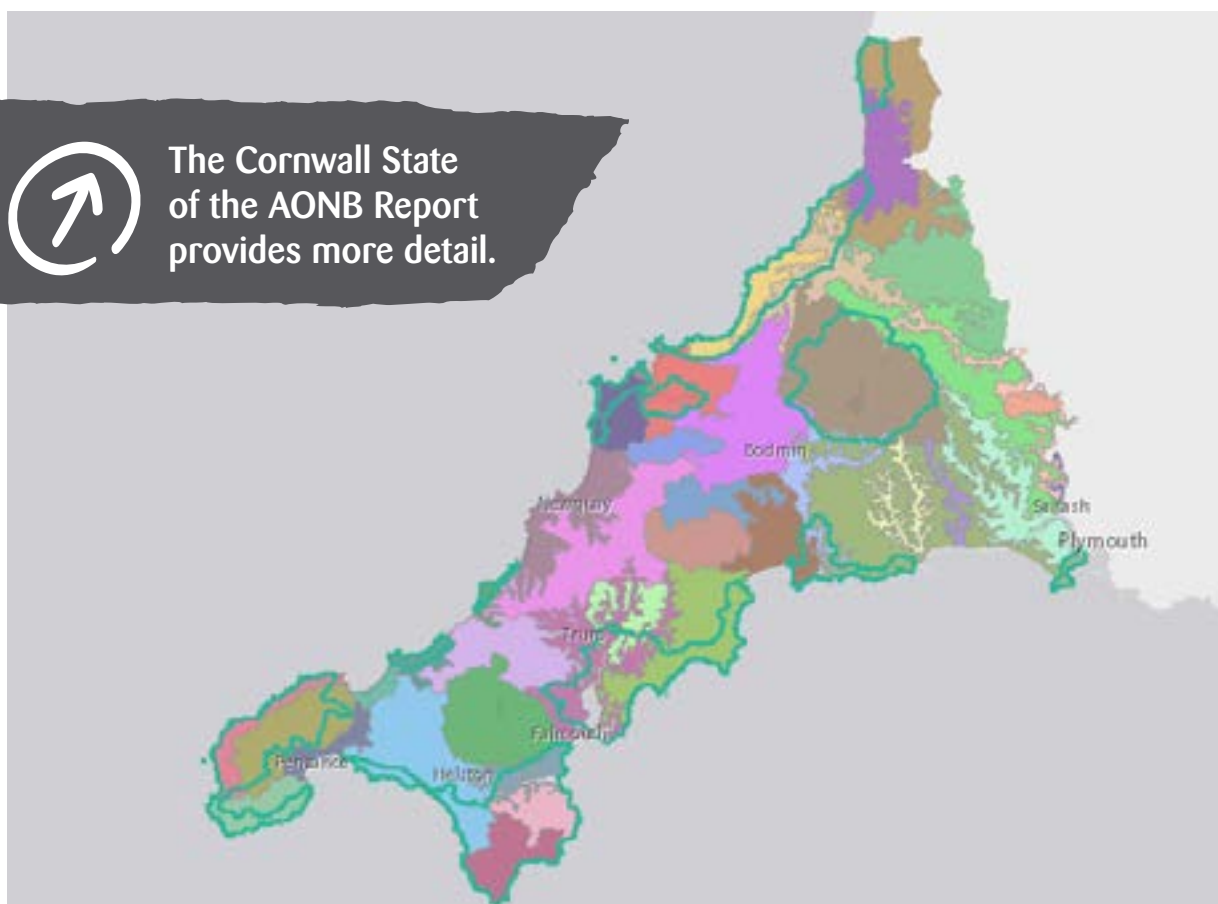
Title	Planning & Development	Time frame
Objective PD-Ob1	Support the preparation of Neighbourhood Development Plans by Cornwall AONB parishes, in the light of robust landscape evidence bases, promoting the conservation and enhancement of local landscape character and distinctiveness.	Long
Objective PD-Ob2	<p>Seek opportunities to reduce and remove existing overhead power and telecommunications lines via the Ofgem Undergrounding and other programmes in order to reduce landscape and visual impact.</p> <p><i>Where/if the overhead cables are in proximity to a Habitats site that there may be a potential impact pathway through direct land take if the undergrounding route were to transit through the Habitats site. A project-level HRA screening at application stage may therefore be necessary.</i></p>	Long
Objective PD-Ob3	Promote a pragmatic approach for coastal communities to accommodating the effects of climate change including the relocation of infrastructure and facilities where this is compatible with the primary purpose of the designation and other policy requirements.	Long
Objective PD-Ob4	Any development should consider the relative carbon balance between the options of new build or refurbishment with a strong preference for the lowest carbon options considering the balance between embedded carbon and operational carbon emissions and preferring low carbon materials and construction methods.	Long



Landscape Character Areas of Cornwall



The Cornwall State
of the AONB Report
provides more detail.



- ☒ Cornwall AONB
- ☒ Landscape Character Areas
- Bodmin Moor
- Dryher and Gwenn
- Dude Basin
- Cornwall Estuary
- Cornwall and Allen Valleys
- Carmanville
- Delade Plateau
- East Cornwall and Tamar Moorland Fringe
- Fal River, Truro and Falmouth
- Poway Valley
- Glenine, Varian and Menagessy Bays
- Haford Hill
- Kellan Head to Misk Haven Coast
- Kil Hill
- Lake Valley River
- Lower Tamar and Tavy Rivers
- Lynher and Tiddy River Valleys
- Mid Cornwall Moors
- Mid Fal Plateau
- Middle Tamar Valley
- Mount's Bay
- Mount's Bay East
- Newlyn Downs
- Newquay and Penzance Coast
- North Coast Riasage Downs
- North East Lizard Peninsula
- Perwith Central Hills
- Redruth, Camborne and Gwennap
- Seaton River Valley
- South East Cornwall Plateau
- South Lizard Peninsula
- St Agnes
- St Agnes and Gugh
- St Austell Bay and Luxulyan Valley
- St Austell or Hensbarrow China Clay Area
- St Deyck Downs
- St Ives Bay
- St Martin's and Tean
- St Mary's
- Tresco
- Trevose Head and Coastal Plateau
- Uninhabited Islands
- Upper Tamar and Ottery Valleys
- West Penwith North and West Coastal Strip
- West Penwith South (Lands End to Newlyn)
- Western Coors Plateau

i.

Requirements for Agricultural Buildings

The construction of new agricultural buildings represents a major investment for the farm business. This guidance is intended to provide some simple brief principles to ensure that this investment provides not only the facility required but also provides for its landscape setting and the proportionate delivery of wider environmental net gain.

Such buildings offer the opportunity for integration into the landscape, the provision of other benefits such as water and waste management, biodiversity enhancement through appropriate planting and the potential for renewable energy generation.

Where required new agricultural buildings should be designed and sited to ensure that they do not unacceptably detract from the designated landscape.

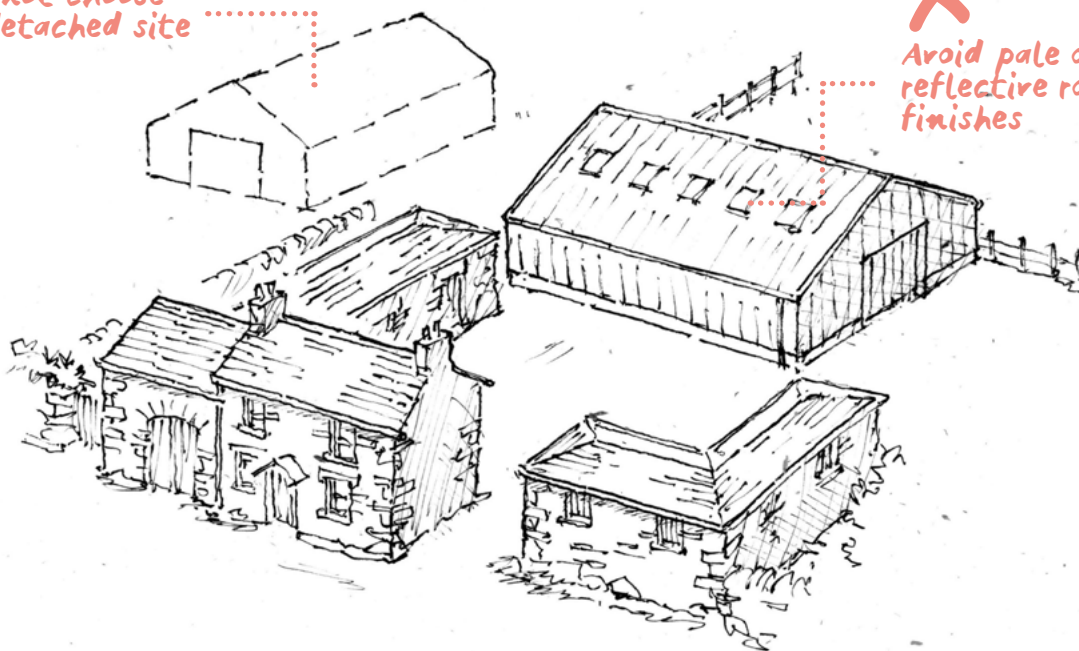
Assimilation into the landscape can be achieved through both siting and design.

In general new agricultural buildings should be sited to:

- Be closely related to existing farm buildings (avoiding obscuring existing characterful farm buildings in key views);

✗ Do not choose a detached site

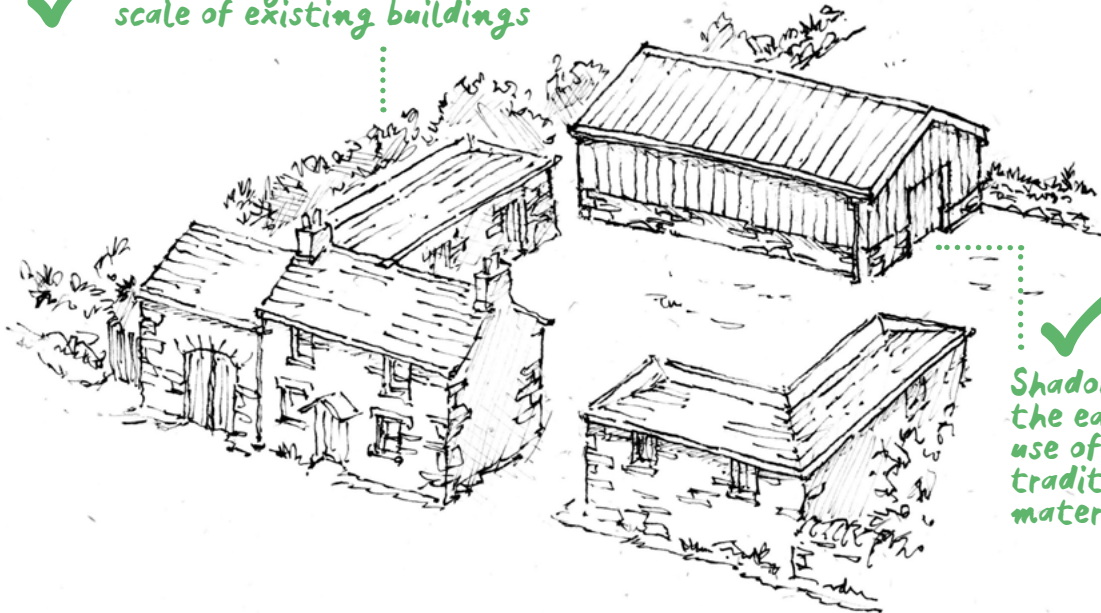
✗ Avoid pale or reflective roof finishes



All illustrations are credited to James Innerdale

- Respect the setting of Listed Buildings and other heritage assets;

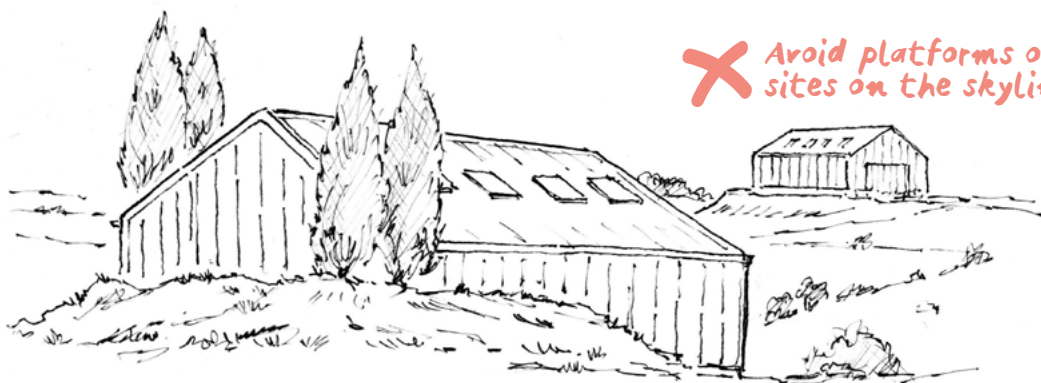
✓ Respecting the form and scale of existing buildings



✓ Shadow lines at the eaves with use of traditional materials

- Be accommodated within the folds of the landscape avoiding skyline locations. The sympathetic use of changes of ground levels can assist in accommodating agricultural buildings in the landscape – avoiding unnatural platforms or bunding;

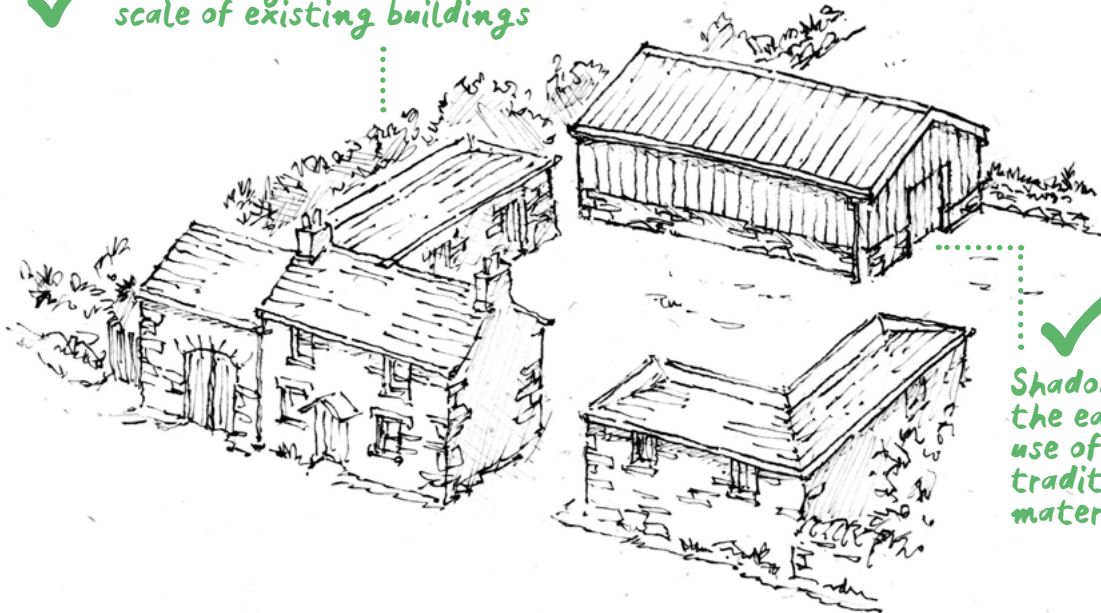
✗ Avoid earth bunding and non native trees and shrubs



✗ Avoid platforms or sites on the skyline

- Respect the setting of Listed Buildings and other heritage assets;

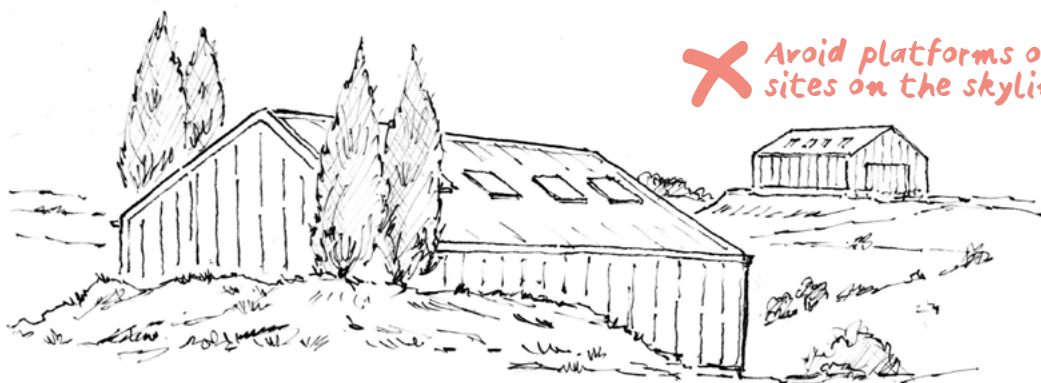
✓ Respecting the form and scale of existing buildings



✓ Shadow lines at the eaves with use of traditional materials

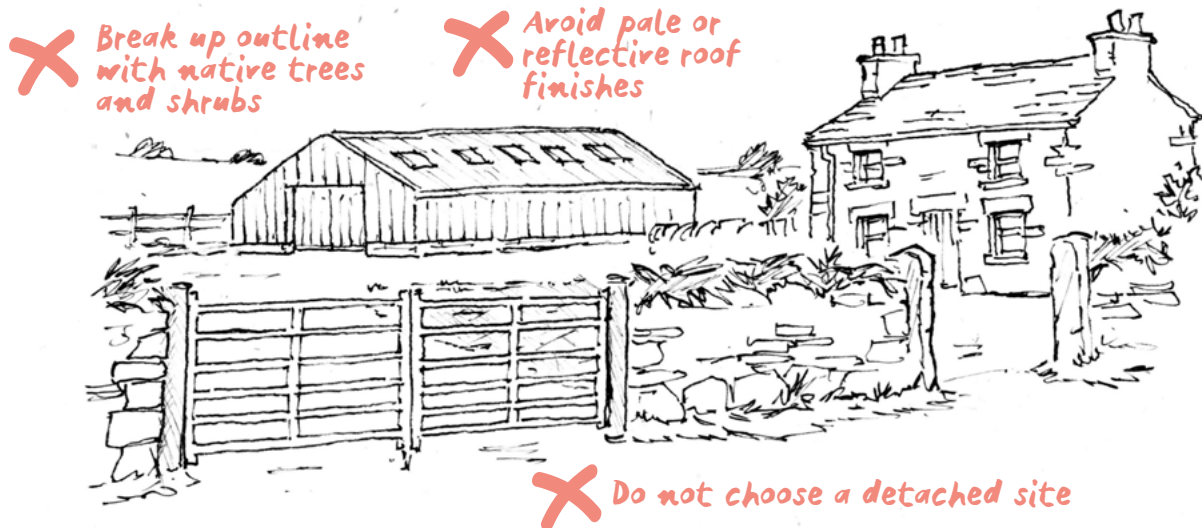
- Be accommodated within the folds of the landscape avoiding skyline locations. The sympathetic use of changes of ground levels can assist in accommodating agricultural buildings in the landscape – avoiding unnatural platforms or bunding;

✗ Avoid earth bunding and non native trees and shrubs



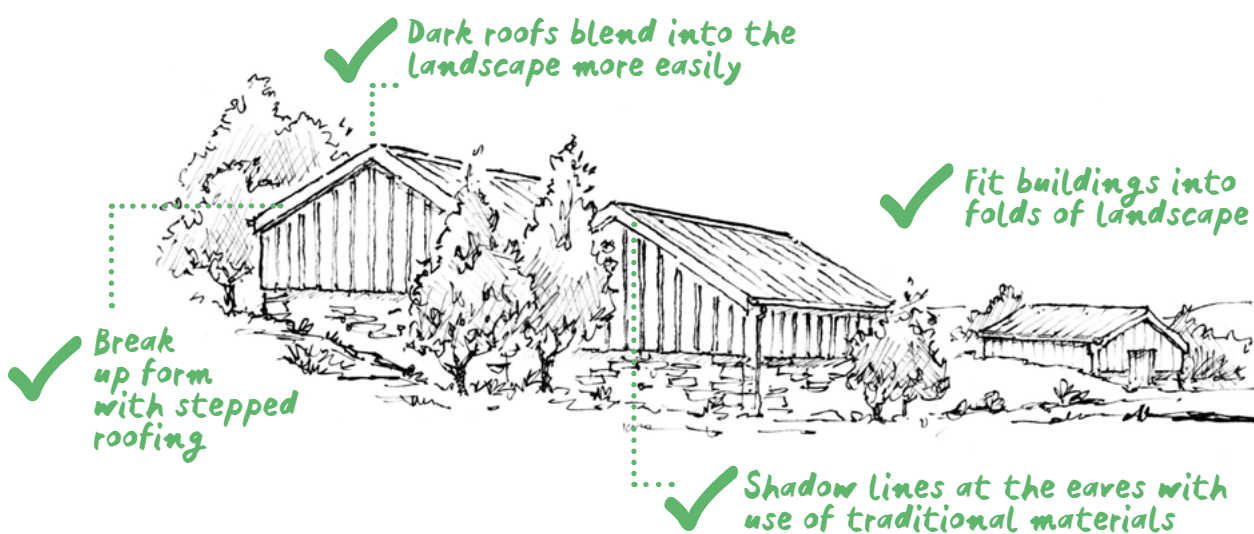
✗ Avoid platforms or sites on the skyline

- Where possible and appropriate to be backclothed by existing woodland or field boundaries (or new woodland and field boundaries which reflect the local landscape character);
- Retain (and where appropriate reinforce) existing tree cover, Cornish hedges and field patterns; and
- Retain and re-use existing access.



In general new agricultural buildings would be preferred to:

- Use smaller buildings in preference to larger ones. A number of smaller buildings may be more easily accommodated in the landscape than a single large building;



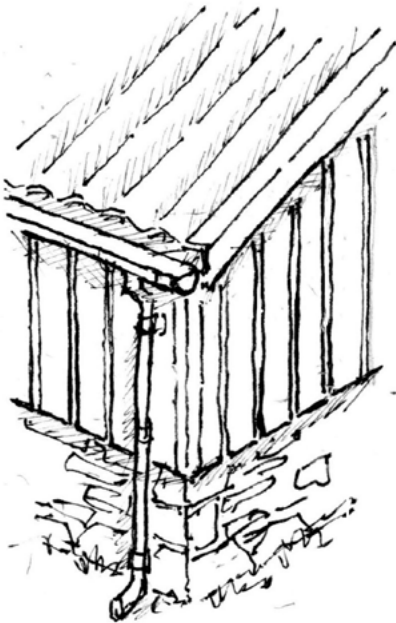
- Reflect the ridge and eaves height of existing farm buildings;



- Prefer narrow to wide building spans, breaking down large ridge runs where required;
- Use stepped roofs where appropriate to break down the scale of roofscapes;
- The use of characteristic tree planting can greatly assist the assimilation of new agricultural buildings into the landscape. Often very limited characteristic planting can provide very substantial benefit (and biodiversity net gain);
- Fibre cement is a generally preferred roofing material for its non-reflective properties, but should be preferred in darker colours (such as anthracite);
- Roof-lights should be minimised, but where required concentrated on the least visible pitch of the roof;
- As a result of its reflective properties profiled steel sheeting is neither the preferred material for roofs nor elevations, but where used should be dark in colour and matt finish. Fibre cement sheeting and timber finishes are typically preferred.
- Typically pre-treated (locally sourced) softwood is preferred for elevations;
- Local stone is preferred for plinth walls in preference to concrete block or concrete panel walls.
- The detailing of new agricultural buildings should provide shadow lines at eaves, above plinth walls and at doors and openings in order to break down the perception of their scale.



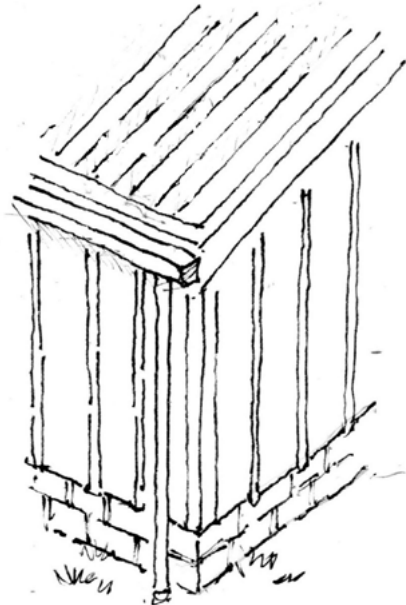
Shadow lines at eaves with use of traditional materials



The construction of new agricultural buildings is often associated with new areas of hardstanding and the need for lighting. The issues related to the building such as water run-off, slurry management and light spill need to be considered.



Avoid pale or reflective roof finishes



Water run-off may provide opportunities for biodiversity enhancement and the roofs of new agricultural buildings may provide opportunities for the sensitive siting of solar panels on roofs.



ii. Major Development in Cornwall AONB

‘Major developments’ as referred to in paragraph 177 of the National Planning Policy Framework is not defined in the Framework. The Planning Practice Guidance stating that ‘whether a proposed development in these designated areas should be treated as a major development, to which the policy in paragraph 177 of the Framework applies, will be a matter for the relevant decision taker, taking into account the proposal in question and the local context’.

The AONB Partnership would regard the reference to ‘major developments’ in this context as differing from the definition as set out within the Town and Country Planning (Development Management Procedure) (England) Order 2015. It is not a straightforward exercise to define the level at which development is considered to be ‘major’ as this will vary depending on the scale, location and type of development proposed, notwithstanding the extent to which harm could be mitigated. As such, it is not possible or appropriate to apply a blanket definition for what should be treated as major development in the AONB. Nevertheless, there are some key indicators that would suggest that a development is likely to be major in its effect on the landscape quality:

1. Where the scale of development is likely to have a detrimental visual impact that harms the scenic quality of the AONB, either within the AONB or in its setting.

2. Where the location of development would erode the special qualities and features of the area of the AONB where the development is proposed (landscape, cultural, biodiversity, tranquillity).
3. Where the type of development is not directly compatible with its surroundings.
4. Where the development would conflict with the economic and social needs of local communities and the AONB’s guiding principles of sustainable development.

Any major applications that have the potential to generate any of the above should then be considered against the following criteria:

The need for the development, including in terms of any national considerations, and the impact of permitting it, or refusing it, upon the local economy.



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